

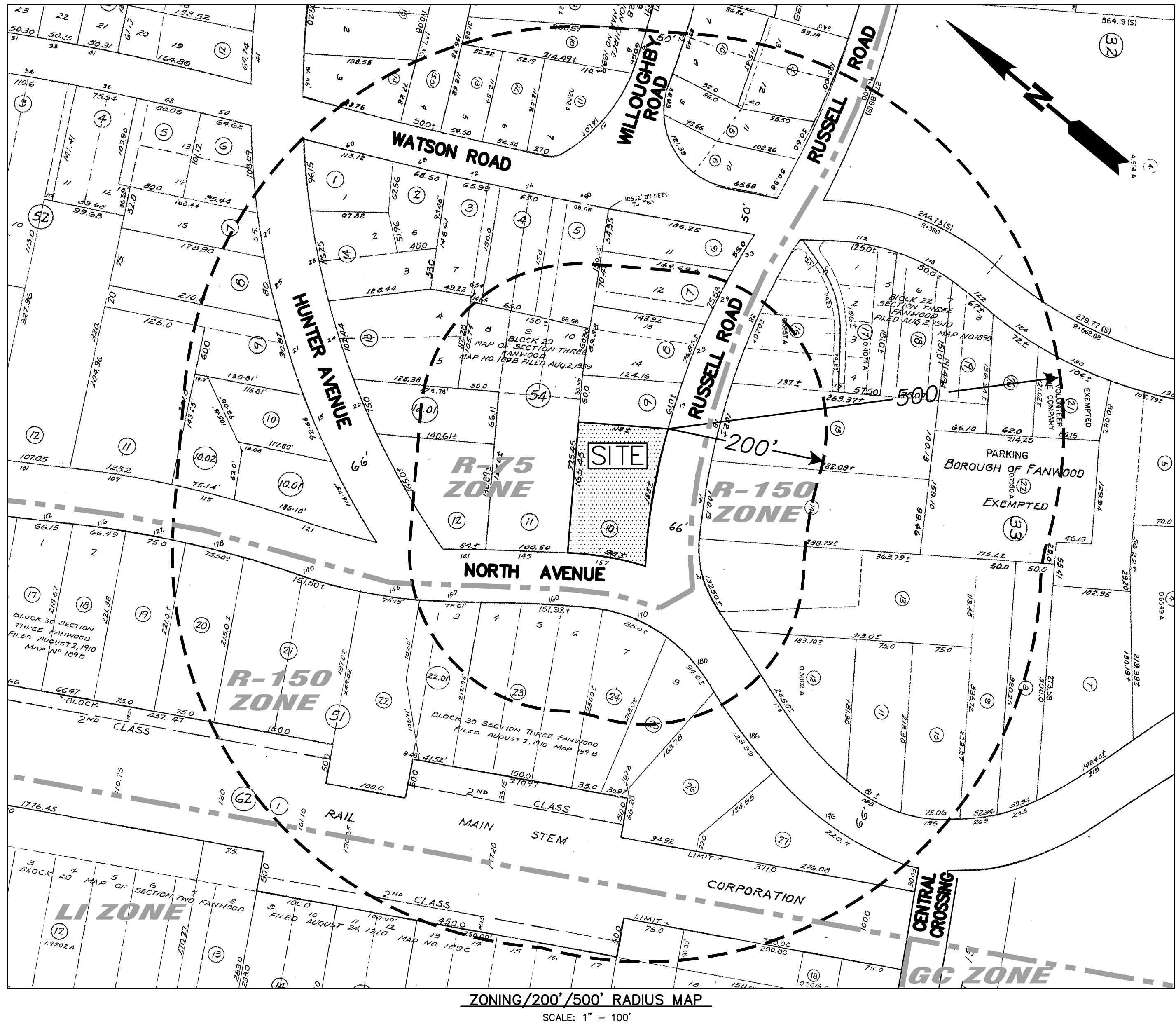
200' OWNERS LIST

Block	Lot	Owner	Owner's Address		
33	12	LEY, JOHN M & JACQUELINE A	175 NORTH AVE	Fanwood NJ	07023
33	13	AMATO, MARK, ET ALS	2 RUSSELL RD	Fanwood NJ	07023
33	14	METZGER, JOSEPH M & JACQUELYN B	16 RUSSELL RD	Fanwood NJ	07023
33	15	KAMINSKAS, JOHN & PACE M	18 RUSSELL RD	Fanwood NJ	07023
33	16	ROTA, PETER S & MERRILE	28 RUSSELL RD	Fanwood NJ	07023
51	22	CHRISTMAN, BRIAN & DOHERTY, MAUREEN	146 NORTH AVE	Fanwood NJ	07023
51	22.01	POCHTAR, ANNA MARIA	150 NORTH AVE	Fanwood NJ	07023
51	23	SMITH, SCOTT & EMILY	160 NORTH AVE	Fanwood NJ	07023
51	24	GRUBMAN, DINAH	170 NORTH AVE	Fanwood NJ	07023
51	25	MASTROCOLA, ANTONIO & ROSE	180 NORTH AVE	Fanwood NJ	07023
51	26	JASUL, MENANDRO & CORPUZ, MARIA T	186 NORTH AVE	Fanwood NJ	07023
54	3	CAMPELL, ALAN B & CAROL D	72 WATSON RD	Fanwood NJ	07023
54	4	BUETTNER, BERNIE H & BARBARA H	76 WATSON RD	Fanwood NJ	07023
54	5	DE BIASSE, JOAN P	80 WATSON RD	Fanwood NJ	07023
54	6	GREANEY, KEVIN M & MARGARET M	33 RUSSELL RD	Fanwood NJ	07023
54	7	CASHMAN, KEVIN & BRENNICK, MAUREEN A	29 RUSSELL RD	Fanwood NJ	07023
54	8	WITTENBERG, BRIAN J & ILYSE L	23 RUSSELL RD	Fanwood NJ	07023
54	9	BHATIA, SANJIV	17 RUSSELL RD	Fanwood NJ	07023
54	10	ZITOFSKY, SUSAN E	157 NORTH AVE	Fanwood NJ	07023
54	11	WHITNEY, CHARLES & MEGAN	145 NORTH AVE	Fanwood NJ	07023
54	12	MCMANUS, ELAINE D	141 NORTH AVE	Fanwood NJ	07023
54	12.01	SCHIMMING, WALTER E & DUVERNAY, ES	20 HUNTER AVE	Fanwood NJ	07023
54	13	MC ALINDIN, TIMOTHY J & MICHELLE M	24 HUNTER AVE	Fanwood NJ	07023

GENERAL NOTES:

- THIS DRAWING REFERENCES A BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY:
EKA ASSOCIATES, P.A.
398 PARK AVENUE
SCOTCH PLAINS, NJ 07076
DATED 5-5-2021
- THIS PARCEL IS KNOWN AS LOT 10 IN BLOCK 54 AS SHOWN ON SHEET 16 OF THE TAX MAPS OF THE BOROUGH OF FANWOOD.
- AREA OF PARCEL = 17,575 S.F. OR 0.40 ACRES
- THIS PARCEL IS LOCATED ENTIRELY IN THE R-75 RESIDENTIAL DISTRICT AS SHOWN ON THE ZONING MAP OF THE BOROUGH OF FANWOOD.
- THIS SITE MAY BE SUBJECT TO UNDERGROUND UTILITIES AND/OR EASEMENTS WHICH ARE NOT SHOWN.
- IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- NO DETERMINATION WAS MADE AS TO THE PRESENCE AND/OR NONEXISTENCE OF TOXIC WASTES. THE CLIENT SHOULD PURSUE THIS MATTER AS AN ITEM SEPARATE AND APART FROM THIS PLAN.
- ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM, (INTENDED TO BE THE SAME ASSUMED DATUM AS USED IN THE REFERENCE SURVEY BELOW). LOCAL BENCHMARK IS A SURVEYOR'S MAGNOL SET IN THE SIDEWALK ON THE SOUTHERLY SIDE OF NORTH AVENUE, DIRECTLY ACROSS FROM TAX LOT 10, BLOCK 54 (THE SUBJECT PROPERTY) ELEV. =101.00 (ASSUMED)
- DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS IS A MINOR SUBDIVISION PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
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- ANY EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
- THIS PLAN REQUIRES THE FOLLOWING OUTSIDE AGENCY APPROVALS:
SOMERSET-UNION SOIL CONSERVATION DISTRICT, UNION COUNTY PLANNING BOARD.
- ANY MATERIALS OR DEBRIS REMOVED FROM THE SITE SHALL BE DONE SO IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS SHALL BE COORDINATED BY CONTRACTOR DIRECTLY WITH THE UTILITY PURVEYOR.
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- INDIVIDUAL LOT DEVELOPMENT PLANS SHALL BE SUBMITTED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
- NO WETLANDS EXIST ON THE SUBJECT PROPERTY OR ON ANY ADJACENT PROPERTIES PER THE ONLINE NJ-GEOWEB SERVICE PROVIDED BY THE NJDEP.
- TOTAL EXISTING ON-SITE IMPERVIOUS COVERAGE = 3,922 S.F.
TOTAL PROPOSED ON-SITE IMPERVIOUS COVERAGE = 5,117 S.F.
TOTAL NET INCREASE IN IMPERVIOUS COVERAGE = 1,195 S.F.
- ALL ROOF LEADER DOWNSPOUTS FROM NEW DWELLINGS SHALL BE CONNECTED TO THE LOT'S RESPECTIVE DRYWELL SYSTEM. NO SUMP PUMP DISCHARGE SHALL BE CONNECTED TO THE DRYWELL.

MINOR SUBDIVISION
TAX LOT 10 BLOCK 54
157 NORTH AVENUE
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

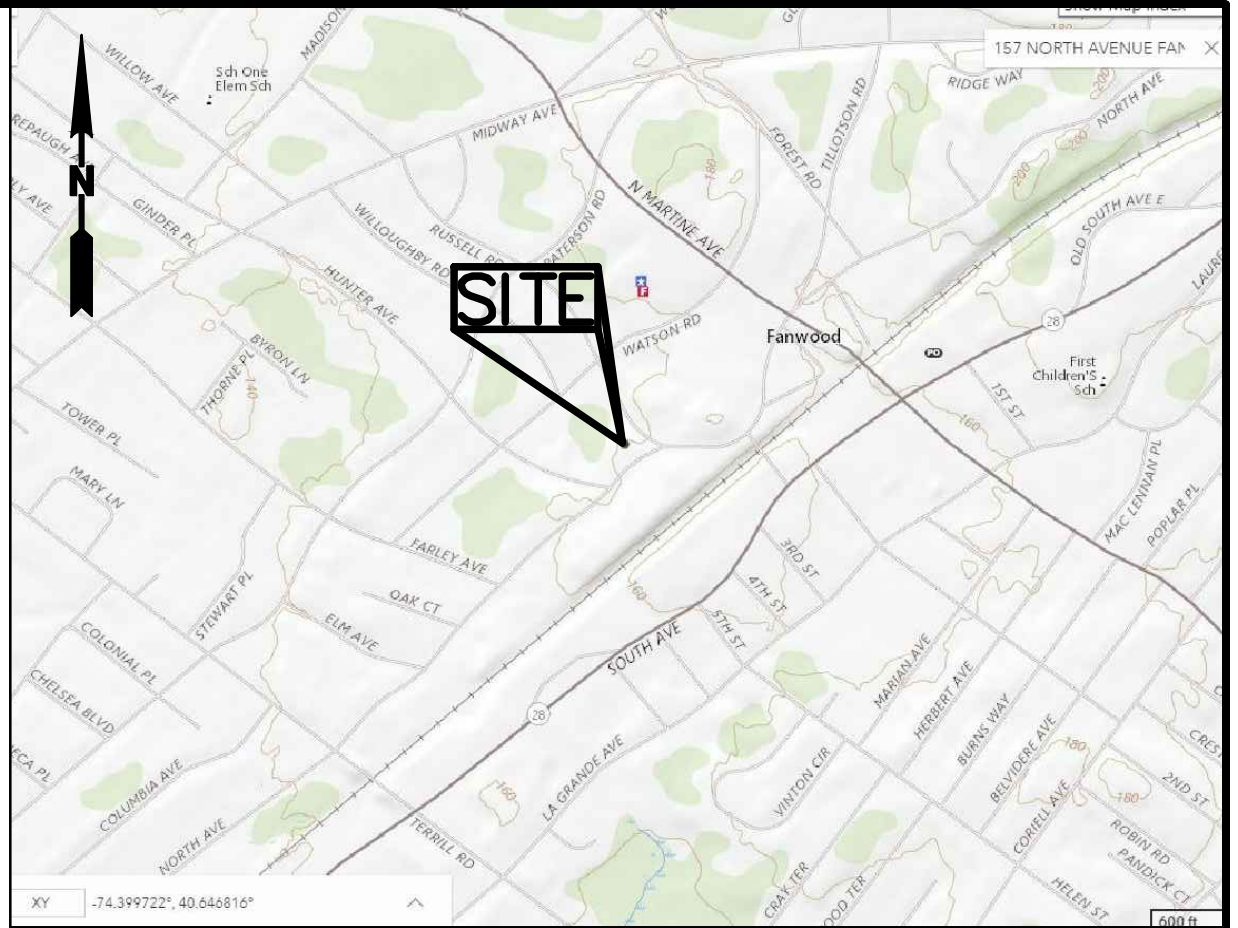


SCHEDULE OF GENERAL REQUIREMENTS

ZONE: R-75 RESIDENTIAL					
EXISTING USE: SINGLE-FAMILY RESIDENTIAL (PERMITTED USE)					
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL (PERMITTED USE)					
REGULATION	REQUIREMENT	EXISTING LOT 10	PROPOSED LOT 10.01	PROPOSED LOT 10.02	
MIN. LOT SIZE	7,500 S.F.	17,575 S.F.	7,929 S.F.	9,646 S.F.	
MIN. LOT WIDTH	75'	98.48'	75'	100.14'	
MIN. LOT FRONTAGE	50'	98.17'	75.06'	110.25'	
MIN. FRONT YARD (NORTH AVENUE AVERAGE)	40.11'(1)	48.39'	N/A	N/A	
MIN. STREET SIDE YARD (RUSSELL ROAD AVERAGE)	31.29'(1)	42.74'	N/A	N/A	
MIN. FRONT YARD (RUSSELL ROAD AVERAGE)	31.29'(1)	N/A	31.29'(1)	29.29'(1)	
MIN. STREET SIDE YARD (NORTH AVENUE AVERAGE)	40.11'(1)	N/A	N/A	38.11'(1)	
MIN. SIDE YARD - ONE SIDE (75' LOT WIDTH OR GREATER)	10'	16.32'	10'	10.54'	
MIN. SIDE YARD - OTHER SIDE (75' LOT WIDTH)	15'	N/A	15.25'	N/A	
MIN. COMBINED SIDE YARD	33% LOT WIDTH	59.06'	25.25'	48.65'	
MIN. REAR SETBACK	25'	77.94'	34.20'	25'	
MAX. BUILDING STORIES	2 STORIES	2	WILL COMPLY	WILL COMPLY	
MAX. BUILDING HEIGHT (75' LOT WIDTH)	27.5'	N/A	WILL COMPLY	N/A	
MAX. BUILDING HEIGHT (GREATER THAN 75' LOT WIDTH)	28'	N/A	WILL COMPLY	WILL COMPLY	
MAX. BUILDING HEIGHT 6' FROM BUILDING (GREATER THAN 75' LOT WIDTH)	28.5'	N/A	WILL COMPLY	N/A	
MAX. BUILDING COVERAGE (7,000 S.F.-7,999 S.F.)	24%	N/A	23.5%	N/A	
MAX. BUILDING COVERAGE (9,000 S.F.-9,999 S.F.)	23%	N/A	N/A	20.1%	
MAX. BUILDING COVERAGE (15,000 S.F. OR GREATER)	20%	10.0%	N/A	N/A	
MAX. IMPERVIOUS COVERAGE	35%	22.3%	32.2%	26.6%	
MIN. HABITABLE FLOOR AREA	600 S.F.	> 600 S.F.	WILL COMPLY	WILL COMPLY	

* - EXISTING NON-CONFORMANCE
(V) - DENOTES VARIANCE REQUIRED

(1) PER SECTION 184-126.D, THE MINIMUM AND MAXIMUM FRONT YARD REQUIREMENT SET FORTH FOR THE R-75 ZONE DISTRICT, WHERE EXISTING BUILDINGS ON THE SAME SIDE OF THE STREET FORM AN ESTABLISHED FRONT YARD DEPTH, THE FRONT YARD ON THE SUBJECT PROPERTY, OR THE STREET SIDE YARD ON A CORNER PROPERTY, SHALL NOT DEVIATE FROM THIS ESTABLISHED YARD DEPTH BY MORE THAN TWO FEET.



KEY MAP
SCALE: 1" = 1,000'

OWNER/APPLICANT

JRN CARPENTRY
47 KING STREET
EDISON, NJ 08820

I HEREBY CERTIFY THAT I AM THE OWNER/APPLICANT OF TITLE OF LOT 10 IN BLOCK 54 AND I APPROVE THE FILING OF THIS PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF FANWOOD.

(SIGNATURE) DATE

APPROVED BY:

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE

SHEET	TITLE	ISSUED	REVISED
1	COVER SHEET	5/5/2021	N/A
2	MINOR SUBDIVISION PLAN	5/5/2021	N/A
3	CONFORMANCE GRADING PLAN	5/5/2021	N/A
4	SOIL EROSION & SEDIMENT CONTROL PLAN	5/5/2021	N/A
5	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	5/5/2021	N/A
6	CONSTRUCTION DETAILS	5/5/2021	N/A
1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY	5/5/2021	-

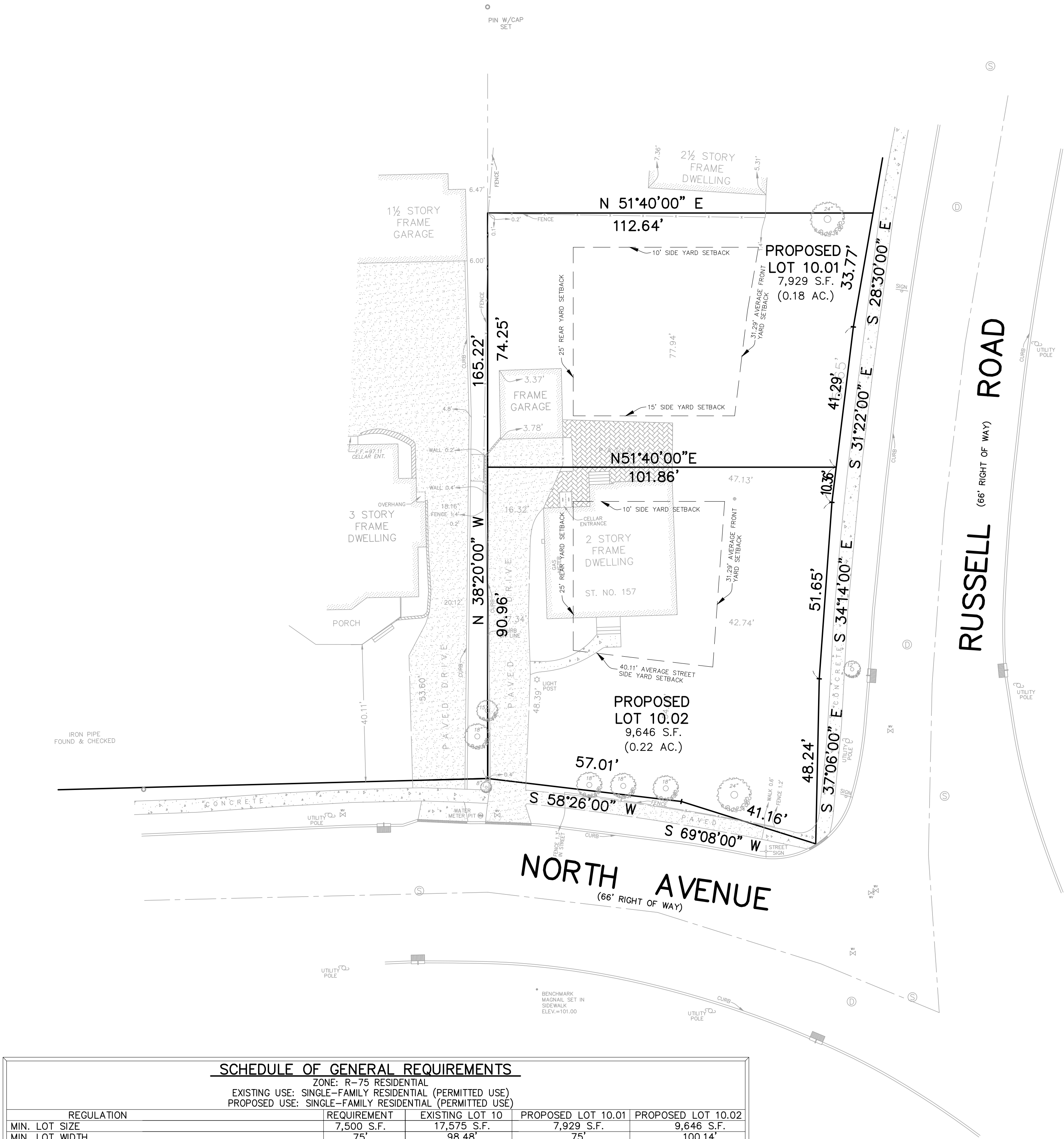
COVER SHEET
MINOR SUBDIVISION
TAX LOT 10 BLOCK 54
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:

James R. Watson
JAMES R. WATSON P.L.S., P.P.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 30760
PROFESSIONAL PLANNER
N.J. LICENSE NO. 3363



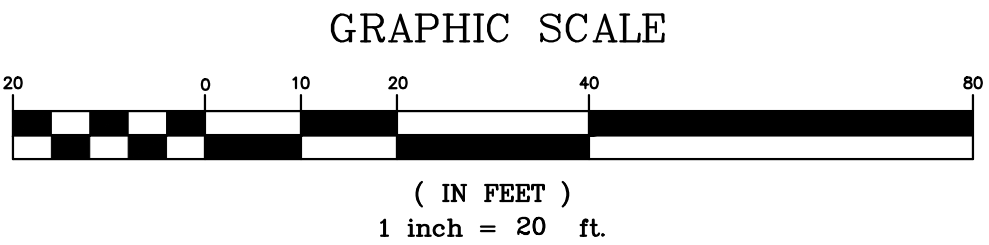
FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	11	40.11' *
AVERAGE		
NORTH AVENUE		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		

FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	8	33.90' *
54	9	28.67' *
AVERAGE		
RUSSELL ROAD		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		
























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308 PARK AVENUE
SCOTCH PLAINS, NJ 07076
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LEGEND	
 -ce	- EXISTING SIDEWALK ELEVATION
 -gnd	- EXISTING GROUND ELEVATION
 -cl	- EXISTING CENTERLINE ELEVATION
 -tc	- EXISTING TOP OF CURB ELEVATION
 -bc	- EXISTING BOTTOM OF CURB ELEVATION
 -dc	- EXISTING DEPRESSED CURB
 ⑤	- EXISTING SANITARY MANHOLE
 ⑥	- EXISTING STORM MANHOLE
 UT	- EXISTING UTILITY POLE
 WV	- EXISTING WATER VALVE
 ②③	- EXISTING TREE AND SIZE
 X	- EXISTING TREES TO BE REMOVED
 186	- PROPOSED CONTOUR
 SPOT	- PROPOSED SPOT ELEVATION
 -gnd	- EXISTING PAVEMENT ELEVATION
 -gnd	- EXISTING GRAVEL ELEVATION
 -bldg	- EXISTING BUILDING ELEVATION
 -conc	- EXISTING CONCRETE ELEVATION
 TG	- EXISTING TOP OF GRATE ELEVATION
 INV.	- EXISTING INVERT
 186.67	- EXISTING SPOT ELEVATION
 E.O.P.	- EXISTING EDGE OF PAVEMENT ELEVATION
 200	- EXISTING CONTOUR

MINOR SUBDIVISION PLAN
MINOR SUBDIVISION
TAX LOT 10 BLOCK 54
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

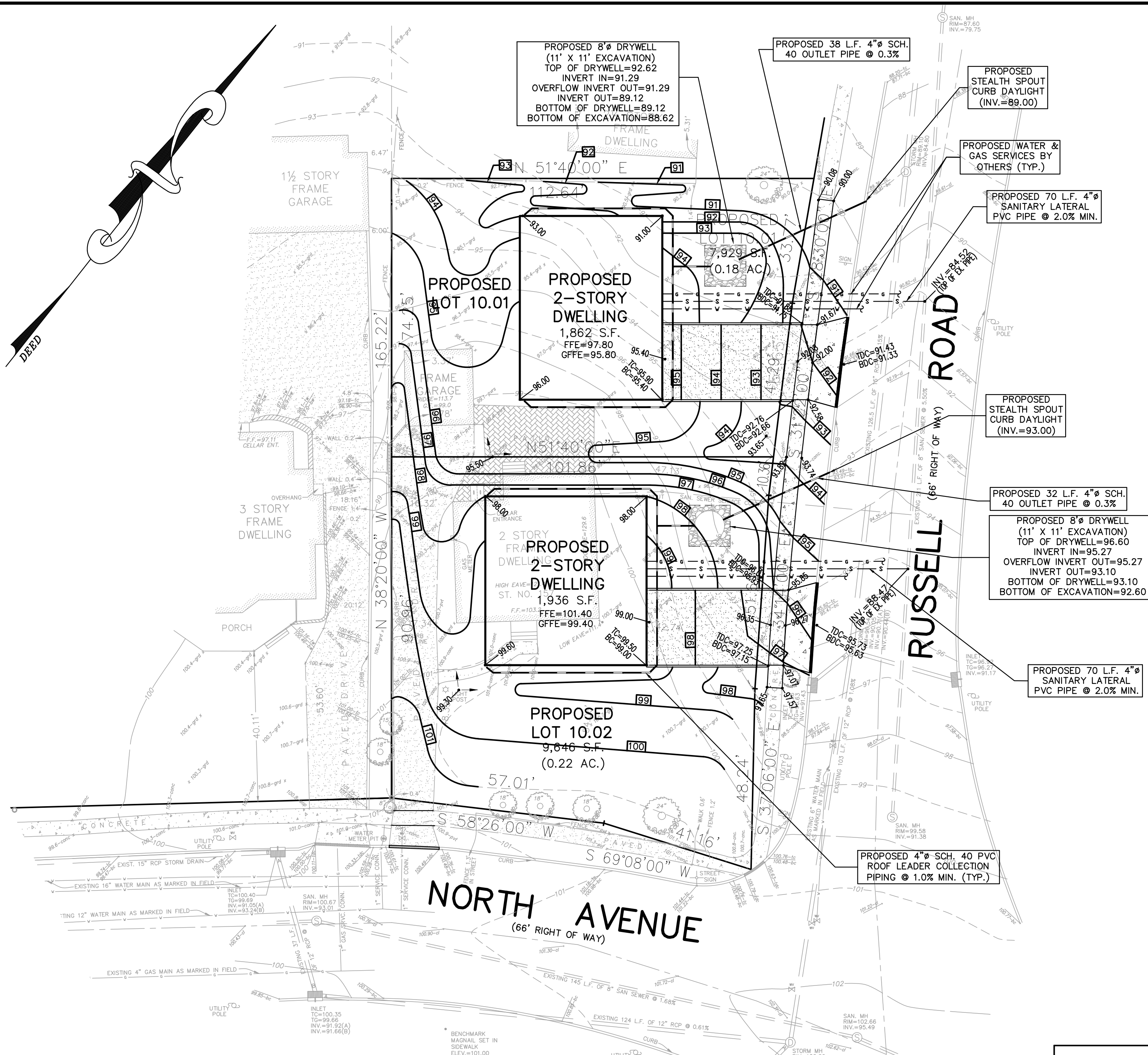
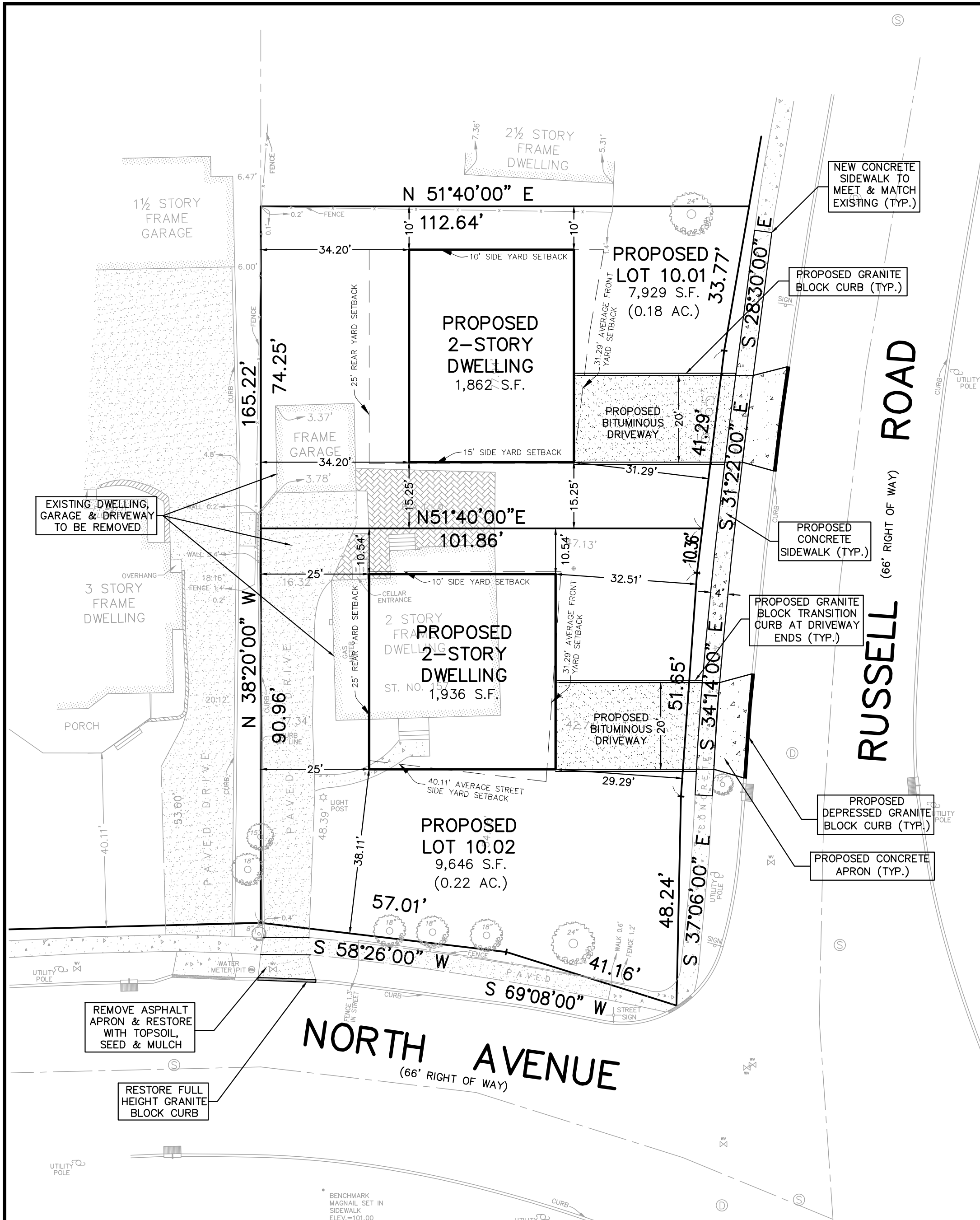
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REVISIONS:

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JAMES R. WATSON P.L.S., P.P.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 30765
PROFESSIONAL PLANNER
N.J. LICENSE NO. 50196

Job No. 848260 Date 5/5/2021 Scale 1"=20' Drawn SK Map No. Sheet 2 of 6



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 - ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. (INTENDED TO BE THE SAME ASSUMED DATUM AS USED IN THE REFERENCE SURVEY BELOW). LOCAL BENCHMARK IS A SURVEYOR'S MAGNAIL SET IN THE SIDEWALK ON THE SOUTHERLY SIDE OF NORTH AVENUE, DIRECTLY ACROSS FROM TAX LOT 10, BLOCK 54 (THE SUBJECT PROPERTY) ELEV. = 101.00 (ASSUMED)
 - DO NOT SCALE DRAWINGS FOR LOCATIONS OF ADJACENT STRUCTURES AND SURROUNDING PHYSICAL CONDITIONS. THESE ITEMS MAY BE SCHEMATIC ONLY EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
 - THIS IS A MINOR SUBDIVISION PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON IS NOT A SURVEY.
 - THIS PLAN HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS PLAN SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS OR DIGITAL STAKEOUT UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS MARKED "ISSUED FOR CONSTRUCTION AND DIGITAL STAKEOUT".
 - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY AND COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION TO HIS SATISFACTION PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL PERFORM TEST FITS WHERE EXISTING UTILITIES ARE TO BE CROSSED. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS MAY BE REQUIRED TO AVOID CONFLICTS.
 - CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER FROM THOSE SHOWN HEREON.
 - ANY PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - ALL MATERIAL, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
- CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - ANY EXISTING IMPERVIOUS SURFACES NOT TO REMAIN SHALL BE RESTORED WITH A MINIMUM OF 5" TOPSOIL SEED AND MULCH.
 - THIS PLAN REQUIRES THE FOLLOWING OUTSIDE AGENCY APPROVALS:
SOMERSET-UNION SOIL CONSERVATION DISTRICT, UNION COUNTY PLANNING BOARD.
 - ANY MATERIALS OR DEBRIS REMOVED FROM THE SITE SHALL BE DONE SO IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. ANY UTILITY DISCONNECTS SHALL BE COORDINATED BY CONTRACTOR DIRECTLY WITH THE UTILITY PURVEYOR.
 - THIS SITE IS LOCATED ENTIRELY WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD AND OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE RATE MAP No. 34039C0029F, DATED SEPTEMBER 20, 2006.
 - INDIVIDUAL LOT DEVELOPMENT PLANS SHALL BE SUBMITTED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
 - NO WETLANDS EXIST ON THE SUBJECT PROPERTY OR ON ANY ADJACENT PROPERTIES PER THE ONLINE NJ-GEOWEB SERVICE PROVIDED BY THE NJDEP.
 - TOTAL EXISTING ON-SITE IMPERVIOUS COVERAGE = 3,922 S.F.
TOTAL PROPOSED ON-SITE IMPERVIOUS COVERAGE = 5,117 S.F.
TOTAL NET INCREASE IN IMPERVIOUS COVERAGE = 1,195 S.F.
 - ALL ROOF LEADER DOWNSPOUTS FROM NEW DWELLINGS SHALL BE CONNECTED TO THE LOT'S RESPECTIVE DRYWELL SYSTEM. NO SUMP PUMP DISCHARGE SHALL BE CONNECTED TO THE DRYWELL.

LEGEND	
-se	- EXISTING SIDEWALK ELEVATION
-gd	- EXISTING GROUND ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION
-cc	- EXISTING DEPRESSED CURB
⊙	- EXISTING SANITARY MANHOLE
⊙	- EXISTING STORM MANHOLE
⊙	- EXISTING UTILITY POLE
⊙	- EXISTING WATER VALVE
⊙	- EXISTING TREE AND SIZE
✕	- EXISTING TREES TO BE REMOVED
---	- PROPOSED CONTOUR
•	- PROPOSED SPOT ELEVATION
---	- EXISTING PAVEMENT ELEVATION
---	- EXISTING GRAVEL ELEVATION
---	- EXISTING BUILDING ELEVATION
---	- EXISTING CONCRETE ELEVATION
---	- EXISTING TOP OF GRATE ELEVATION
---	- EXISTING INVERT
---	- EXISTING SPOT ELEVATION
---	- EXISTING EDGE OF PAVEMENT ELEVATION
---	- EXISTING CONTOUR

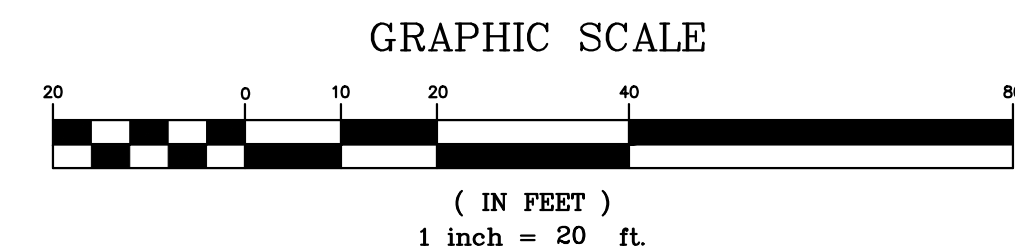
SCHEDULE OF GENERAL REQUIREMENTS				
ZONE: R-75 RESIDENTIAL				
EXISTING USE: SINGLE-FAMILY RESIDENTIAL (PERMITTED USE)				
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL (PERMITTED USE)				
REGULATION	REQUIREMENT	EXISTING LOT 10	PROPOSED LOT 10.01	PROPOSED LOT 10.02
MIN. LOT SIZE	7,500 S.F.	17,575 S.F.	7,929 S.F.	9,646 S.F.
MIN. LOT WIDTH	75'	75'	75'	100.14'
MIN. LOT FRONTAGE	50'	98.17'	75.06'	110.25'
MIN. FRONT YARD (NORTH AVENUE AVERAGE)	40.11'(1)	48.39'	N/A	N/A
MIN. STREET SIDE YARD (RUSSELL ROAD AVERAGE)	31.29'(1)	42.74'	N/A	N/A
MIN. FRONT YARD (RUSSELL ROAD AVERAGE)	31.29'(1)	N/A	31.29'(1)	29.29'(1)
MIN. STREET SIDE YARD (NORTH AVENUE AVERAGE)	40.11'(1)	N/A	N/A	38.11'(1)
MIN. SIDE YARD - ONE SIDE (75' LOT WIDTH OR GREATER)	10'	16.32'	10'	10.54'
MIN. SIDE YARD - OTHER SIDE (75' LOT WIDTH)	15'	N/A	15.25'	N/A
MIN. COMBINED SIDE YARD	33% LOT WIDTH	59.06'	25.25'	48.65'
MIN. REAR SETBACK	25'	77.94'	34.20'	25'
MAX. BUILDING STORIES	2 STORIES	2	WILL COMPLY	WILL COMPLY
MAX. BUILDING HEIGHT (75' LOT WIDTH)	27.5'	N/A	WILL COMPLY	N/A
MAX. BUILDING HEIGHT (GREATER THAN 75' LOT WIDTH)	28'	-	N/A	WILL COMPLY
MAX. BUILDING HEIGHT 6' FROM BUILDING (75' LOT WIDTH)	28'	N/A	WILL COMPLY	N/A
MAX. BUILDING HEIGHT 6' FROM BUILDING (GREATER THAN 75' LOT WIDTH)	28.5'	N/A	N/A	WILL COMPLY
MAX. BUILDING COVERAGE (7,000 S.F.-7,999 S.F.)	24%	N/A	23.5%	N/A
MAX. BUILDING COVERAGE (9,000 S.F.-9,999 S.F.)	23%	N/A	N/A	20.1%
MAX. BUILDING COVERAGE (15,000 S.F. OR GREATER)	20%	10.0%	N/A	N/A
MAX. IMPERVIOUS COVERAGE	35%	22.3%	32.2%	26.6%
MIN. HABITABLE FLOOR AREA	600 S.F.	> 600 S.F.	WILL COMPLY	WILL COMPLY

* - EXISTING NON-CONFORMANCE
(V) - DENOTES VARIANCE REQUIRED

FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	11	40.11' *
AVERAGE 40.11'		
NORTH AVENUE		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		

FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	9	33.90'
54	8	28.67' *
AVERAGE 31.29'		
RUSSELL ROAD		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		

(1) PER SECTION 184-126.D, THE MINIMUM AND MAXIMUM FRONT YARD REQUIREMENT SET FORTH FOR THE R-75 ZONE DISTRICT, WHERE EXISTING BUILDINGS ON THE SAME SIDE OF THE STREET FORM AN ESTABLISHED FRONT YARD DEPTH, THE FRONT YARD ON THE SUBJECT PROPERTY, OR THE STREET SIDE YARD ON A CORNER PROPERTY, SHALL NOT DEVIATE FROM THIS ESTABLISHED YARD DEPTH BY MORE THAN TWO FEET.



CONFORMANCE GRADING PLAN
MINOR SUBDIVISION
TAX LOT 10 BLOCK 54
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030



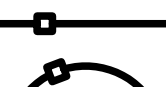
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







THOMAS J. QUINN, P.E., C.M.E.
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N.J. LICENSE NO. 24604107200

Job No. 848260 Date 5/5/2021 Scale 1"=20' Drawn SK Map No. Sheet 3 of 6




SOIL EROSION AND SEDIMENT CONTROL LEGEND

	- LIMIT OF DISTURBANCE
	- SILT FENCE
	- TREE PROTECTION

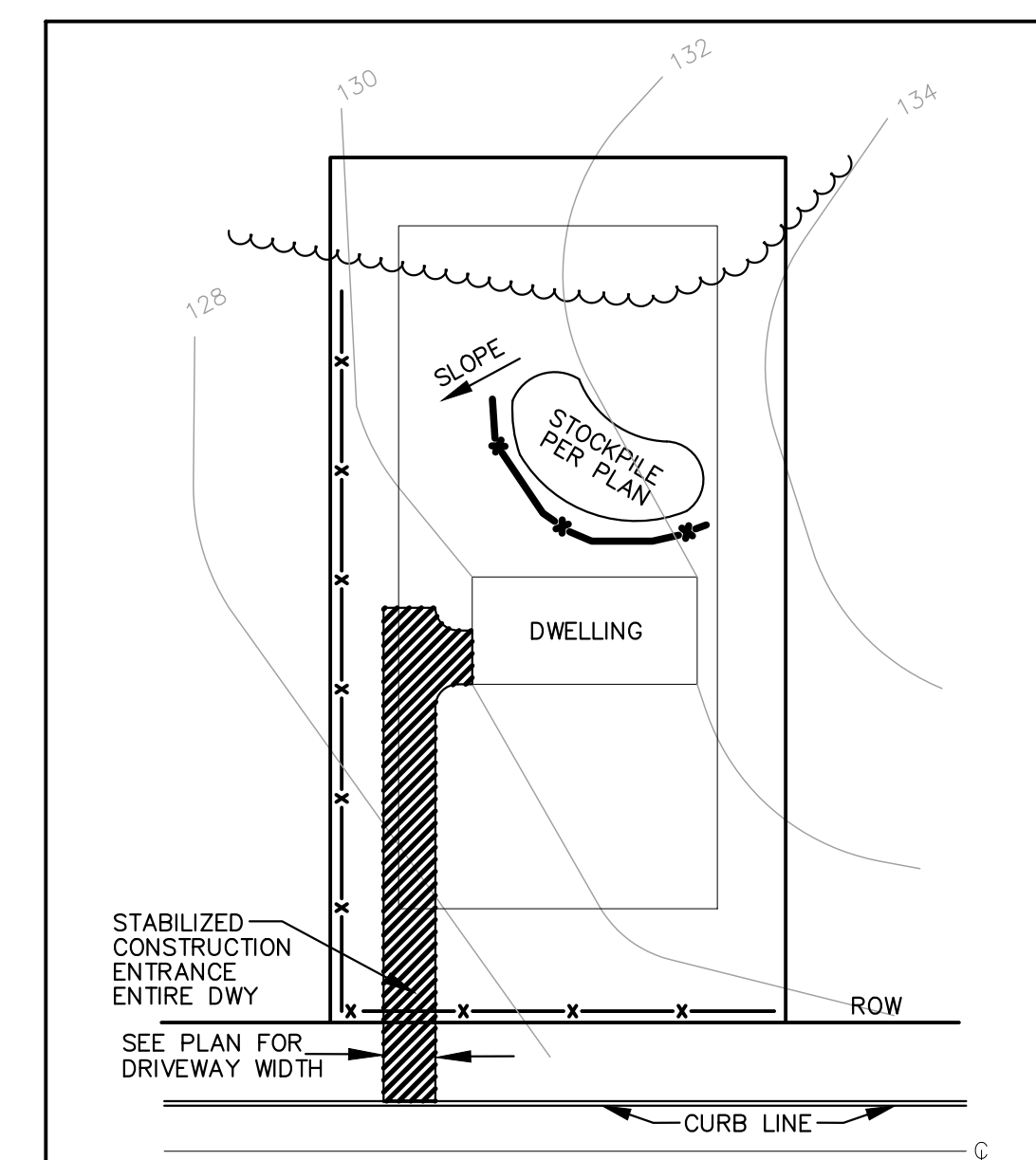
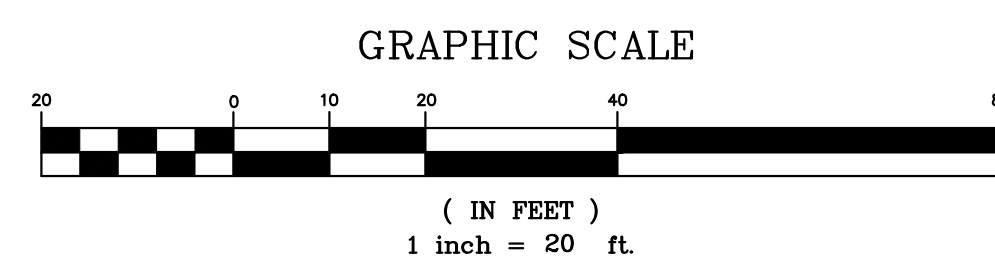
		LEGEND	
-sw	- EXISTING SIDEWALK ELEVATION		- PROPOSED CONTOUR
-gnd	- EXISTING GROUND ELEVATION	-gnd	- EXISTING PAVEMENT ELEVATION
-cl	- EXISTING CENTERLINE ELEVATION	-gnd	- EXISTING GRAVEL ELEVATION
-tc	- EXISTING TOP OF CURB ELEVATION	-bdy	- EXISTING BUILDING ELEVATION
-bc	- EXISTING BOTTOM OF CURB ELEVATION	-conc	- EXISTING CONCRETE ELEVATION
	- EXISTING DEPRESSED CURB	TG	- EXISTING TOP OF GRATE ELEVATION
③	- EXISTING SANITARY MANHOLE	INV.	- EXISTING INVERT
②	- EXISTING STORM MANHOLE		- EXISTING SPOT ELEVATION
	- EXISTING UTILITY POLE	-e.a.p.	- EXISTING EDGE OF PAVEMENT ELEVATION
	- EXISTING WATER VALVE		- EXISTING CONTOUR
	- EXISTING TREE AND SIZE		
	- EXISTING TREES TO BE REMOVED		

EKA ASSOCIATES, P.A.


 THOMAS J. QUINN, P.E., C.M.E.
 PROFESSIONAL ENGINEER
 N.J. LICENSE NO. 24GE04107200

Job No. 848260	Date 5/5/2021	Scale 1"=20'	Drawn SK	Map No.	Sheet 4 of 6
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- | |
|--|
| TOTAL AREA OF DISTURBANCE
AREA =19,018 SF OR 0.44 ACRES |
|--|



NOTES:

1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED IN ACCORDANCE WITH THE STABILIZED CONSTRUCTION ENTRANCE DETAIL EXCEPT FOR AS SHOWN ABOVE.
2. THE STOCKPILE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOPSOIL STOCKPILE DETAIL.
3. ALL SILT FENCE SHALL BE PROVIDED IN ACCORDANCE WITH THE SILT FENCE DETAIL. SILT FENCE SHALL BE PROVIDED ON THE DOWNHILL SIDE OF ANY AND ALL DISTURBANCES.
4. ANY DISTURBED AREA REMAINING DISTURBED FOR MORE THAN 30 DAYS SHALL BE STABILIZED.

TYPICAL INDIVIDUAL LOT DEVELOPMENT DETAIL
N.T.S.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. The Somerset-Union Soil Conservation District shall be notified in writing 48 hours in advance of any land disturbing activity.

2. All Soil Erosion and Sediment Control practices shall be installed prior to any major soil disturbance, or in their proper sequence and maintained until permanent protection is established.

3. Any Disturbed areas that will be left exposed more than 30 Days and not subject to construction traffic, must receive temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of two (2) tons per acre, according to NJ State Standards.

4. Permanent Vegetation shall be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch will be used for protection until seeding is established.

5. All work shall be done in accordance with the NJ State Standards for Soil Erosion and Sediment Control in New Jersey.

6. A sub-base course will be applied immediately following rough grading and installation of improvements in order to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within 15 days or preliminary grading.

7. Immediately following initial disturbance or rough grading all critical areas subject to erosion (i.e.: steep slopes, roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to the NJ State Standards.

8. Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation proceeds (i.e.: slopes greater than 3:1)

9. Traffic Control Standards require the installation of a 50x30x6 pad of 1 1/2" or 2" stone, at all construction driveways, immediately after initial site disturbance.

10. At the time when the site preparation for permanent vegetation stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.

11. In title N.J.S.A. 4:24-39 et seq., requires that no Certificate of Occupancy be issued before the provisions of the Certified Plan for Soil Erosion and Sediment Control have been complied with for permanent measures, all site work for site plans and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.

12. Conduit Outlet Protection must be installed at all required outlets prior to the drainage system becoming operational.

13. Any changes to the Certified Soil Erosion and Sediment Control Plan will require the submission of revised Soil Erosion and Sediment Control Plans to the District for recertification. The revised plans must meet all current NJ State Soil Erosion & Sediment Control Standards.

14. The Somerset-Union Soil Conservation District shall be notified of any changes in ownership.

15. Mulching to the NJ Standards is required for obtaining a Conditional Report of Compliance. Conditions are only issued when the season prohibits seeding.

16. Contractor is responsible for keeping all adjacent roads clean during life of construction project.

17. The developer shall be responsible for remediation any erosion or sediment problems that arise as a result of ongoing construction at the request of the Somerset-Union Soil Conservation District.

18. Hydro seeding is a two-step process. The first step includes seed, fertilizer, lime, etc., along with minimal amounts of mulch to promote consistency, good seed to soil contact, and give a visual indication of coverage. Upon completion of seeding operation, hydramulch shall be applied at a rate of 1500 lbs. per acre in second step. The use of hydramulch, as opposed to straw, is limited to optimum seeding dates as listed in the NJ Standards.

19. Unfettered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize soil transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering. Revised 5/15/15

PROPOSED SEQUENCE OF DEVELOPMENT

Installation of silt fence prior to any soil disturbance. Install off site erosion protection. Maintenance until permanent protection is established.	Week 1
Construct stabilized construction access. Demolish existing buildings, clear and remove all existing vegetation in those areas where necessary. All remaining vegetation and trees to be properly protected and to remain in its natural state.	Week 1
Commence dwelling construction.	Week 2-19
Layout and location of all proposed utilities.	Week 19
Install drywalls	Week 20
Construct curb and driveway base	Week 21
Fine grading of all lawn and landscape areas.	Week 22
Complete all landscaping and vegetative cover.	Week 22
Installation of all pavement surface course	Week 23
Removal of all temporary sediment and erosion control devices.	upon completion

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DEFINITION

Establishment of temporary vegetative cover on soils exposed for periods of two to six months which are not being graded, nor under active construction or not scheduled for permanent seeding within 60 days.

PURPOSE

To temporarily stabilize the soil and reduce damage from wind and water erosion until permanent stabilization is accomplished.

WATER QUALITY ENHANCEMENT

Provides temporary protection against the impacts of wind and rain, slows the over land movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

WHERE APPLICABLE

On exposed soils that have the potential for causing off-site environmental damage.

SITE PREPARATION

A. Grade as needed and feasible to permit the use of conventional equipment for seeded preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.

B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.

C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.

D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.

SEEDBED PREPARATION

A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firmed, according to soil test recommendations such as offered by Rutgers Co-operative Extension Soil sample mappers are available from the local Rutgers Cooperative Extension office (http://njes.rutgers.edu/county/). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen unless a soil test indicates otherwise. Apply limestone at the rate of 2 tons/acre unless soil testing indicates otherwise. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.

B. Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, springtooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.

C. Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retiled in accordance with the above.

D. Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.

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SEEDING

A. Select seed from recommendations in Table 7-2.

TABLE 7-2
TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTH.

SEED SELECTIONS	SEEDING RATE ¹ (pounds) Per Acre	SEEDING RATE ¹ (pounds) Sq. Ft.	OPTIMUM SEEDING DATE ² Based on Plant Hardiness Zone ³			OPTIMUM SEEDING DEPTH ⁴ (inches)
			ZONE 5b,6a	ZONE 6b	ZONE 7a,b	
COLD SEASON GRASSES						
1. Perennial ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	0.5
2. Spring oats	86	2.0	3/15-6/1 8/1-9/15	3/1-5/15 8/15-10/1	2/15-5/1 8/15-10/15	1.0
3. Winter Barley	96	2.2	8/1-9/15	8/15-10/1	8/15-10/15	1.0
4. Annual Ryegrass	100	1.0	3/15-6/1 8/1-9/15	3/1-6/1 8/1-9/15	2/15-5/1 8/15-10/15	0.5
5. Winter Cereal Rye	112	2.8	8/1-11/1	8/1-11/15	8/1-12/15	1.0
WARM SEASON GRASSES						
6. Pearl millet	20	0.5	6/1-8/1	5/15-8/15	5/1-9/1	1.0
7. Millet (German or Hungarian)	30	0.7	6/1-8/1	5/15-8/15	5/1-9/1	1.0

¹ Seeding rate for warm season grass, selections 5 - 7 shall be adjusted to reflect the amount of Pure Line Seed (PLS) as determined by a germination test result. No adjustment is required for cool season grasses.

² May be planted throughout summer if soil moisture is adequate or seeded area can be irrigated.

³ Plant Hardiness Zone (see Figure 7-1, pg. 7-4.)

⁴ Twice the depth for sandy soils

B. Conventional Seeding. Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Excess seed shall be incorporated into the soil, to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse textured soil.

C. Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short fibered mulch may be applied with a hydroseeder following seeding. (Also see Section IV Mulching) Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. Poor seed to soil contact occurs reducing seed germination and growth. Hydroseeding may be used for areas too steep for conventional equipment to traverse or too obstructed with rocks, stumps, etc.

D. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

MULCHING

Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

A. Straw or Hay. Unrotted small grain straw, hay free of seeds, applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application: Spread mulch uniformly by hand or mechanically so that approximately 95% of the soil surface will be covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and cost of materials.

1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

2. Mulch Nettings. Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed. 3. Jute or Plastic. A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

4. Liquid Mulch-Binders. - May be used to anchor hay or straw mulch.

a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.

b. Use one of the following:

(1) Organic and Vegetable Based Binders - Naturally occurring, powder-based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrasses. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

(2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names given above are registered trade names. This does not constitute a commendation of these products to the exclusion of other products.

B. Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer). This mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs./1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

C. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs./1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-free mulch is desired or on sites where straw mulch and tackifier agent are not practical or desirable.

Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

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SEEDING

A. Select a mixture from Table 4-3 or use a mixture recommended by Rutgers Cooperative Extension or Natural Resources Conservation Service which is approved by the Soil Conservation District. Seed germination shall have been tested within 12 months of the planting date. No seed shall be accepted with a germination test date more than 12 months old unless released.

1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage with the specified seed mixture for the seeded area and mowed once.

2. Warm-season mixtures are grasses and legumes which maximize growth at high temperatures, generally 85°F and above. See Table 4-3 mixtures 1 to 7. Planting rates for warm-season grasses shall be the amount of Pure Line Seed (PLS) as determined by germination testing results.

3. Cool-season mixtures are grasses and legumes which maximize growth at temperatures below 85°F. Cool season grasses become active at 65°F. See Table 4-3, mixtures 8-20. Adjustment of planting rates to compensate for the amount of PLS is not required for cool season grasses.

B. Conventional Seeding is performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, drill or cultipacker seeder. Except for drilled, hydroseeded or cultipacked seedings, seed shall be incorporated into the soil within 24 hours of seeded preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper on coarse-textured soil.

C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seeding emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.

D. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Shortfibered mulch may be applied with a hydroseeder following seeding. (Also see Section 4-Mulching below). Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth.

MULCHING

Mulching is required on all seeding. Mulch will protect against erosion before grass is established and will promote faster and earlier establishment. The existence of vegetation sufficient to control soil erosion shall be deemed compliance with this mulching requirement.

A. Straw or Hay. Unrotted small grain straw, hay free of seeds, to be applied at the rate of 1-1/2 to 2 tons per acre (70 to 90 pounds per 1,000 square feet), except that where a crimper is used instead of a liquid mulch-binder (tackifying or adhesive agent), the rate of application is 3 tons per acre. Mulch chopper-blowers must not grind the mulch. Hay mulch is not recommended for establishing fine turf or lawns due to the presence of weed seed. Application - Spread mulch uniformly by hand or mechanically so that at least 85% of the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000 square foot sections and distribute 70 to 90 pounds within each section. Anchoring shall be accomplished immediately after placement to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area, steepness of slopes, and cost of materials.

1. Peg and Twine. Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a criss-cross and a square pattern. Secure twine around each peg with two or more round turns.

2. Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

3. Crimper (mulch anchoring coultter tool) - A tractor-drawn implement, somewhat like a disc harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

4. Liquid Mulch-Binders - May be used to anchor soil hay, hay or straw mulch.

a. Applications should be heavier at edges where wind may catch the mulch, in valleys, and at crests of banks. The remainder of the area should be uniform in appearance.

b. Use one of the following:

(1) Organic and Vegetable Based Binders - Naturally occurring, powder-based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membraned networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrasses. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

(2) Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing, shall no longer be soluble or dispersible in water. Binder shall be applied at rates recommended by the manufacturer and remain tacky until germination of grass.

Note: All names given above are registered trade names. This does not constitute a recommendation of these products to the exclusion of other products.

B. Wood-fiber or paper-fiber mulch - shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. Mulch shall not be mixed in the tank with seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

C. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendations. Mulch may be applied by hand or mechanical spreader at the rate of 60-75 lbs./1,000 square feet and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-free mulch is desired, or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.

IRRIGATION (where feasible)

If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/4 inch applied up to twice a day until vegetation is well established). This is especially true when seedings are made in normally dry or hot weather or on droughty sites.

TOPDRESSING

Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seeded Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where grass nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 300 pounds per acre or 7 pounds per 1,000 square feet every 3 to 5 weeks until the grass nitrogen deficiency in the turf is ameliorated.

ESTABLISHING PERMANENT VEGETATIVE STABILIZATION

The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates in Table 4-3 are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the district. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

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TABLE 4-3
PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES¹

SEED MIXTURE ²	PLANTING PERIOD	PLANTING DATES				REMARKS
		O = Optimal Planting period A = Acceptable Planting period				
		PLANT HARDINESS ZONES (see Figure 4-1)				
		Zone 5b, 6a	Zone 6b	Zone 7a, 7b		
		1/5-6/1 8/1	6/1-8/1 10/1	3/1-5/1 8/1	5/1-8/15 10/15	
WARM SEASON SEED MIXTURES						
1A. For pinelands national reserve seed mixture (see table 4-4 page 4-17)						
1. Switchgrass and/or Coastal perennial grass plus er fescue	15-35 20-45 20-45				C-D	
2. Deertongue or Switchgrass	15-35 20-45 1-10				C-D	
3. Switchgrass Deertongue Little Bluestem Sheep fescue plus Kentucky bluegrass perennial ryegrass	15-35 10-25 10-25 10-25 10-25				C-D	
4. Switchgrass Big Bluestem Little Bluestem Sand lovegrass Coastal perennial grass plus white clover	10-25 10-25 10-25 10-25 10-25 10-25				C-D	
5. Bermudagrass Zoyalsgras (seed) perennial ryegrass (sprigs)	15-35 30-70				A-D	
COOL SEASON SEED MIXTURES						
6. Fine Fescue Hard Fescue Kentucky bluegrass perennial ryegrass plus white clover	45-1 10-25 10-25 10-25 10-25				B-D	
7. Strong Creeping red fescue perennial ryegrass or Raltop plus white clover	130-3 10-25 10-25 10-25				B-D	
8. Tall fescue or Strong Creeping red fescue perennial ryegrass plus white clover	30-7 30-7 30-7 25-60				B-D	
9. Deertongue or Strong Creeping red fescue perennial ryegrass plus white clover	20-45 20-45 20-45 20-45				C-D	
10. Tall fescue (curf-seed) perennial ryegrass or white clover	265-6 20-50 10-25 10-25				C-D	
11. Kentucky bluegrass turf-type tall fescue	15-35 45-1 45-1				C-D	
12. Turf-type tall fescue (blend of cultivars)	350-8				C-D	
"USE THIS SEED MIXTURE"						
13. Hard Fescue Chewing fescue and/or Strong Creeping red fescue perennial ryegrass plus white clover	175-1 45-1 45-1 45-1				A-C	
14. Tall fescue Ky. bluegrass (seed) perennial ryegrass (seed)	265-6 20-50 10-25 10-25				A-B	
15. Hard Fescue Creeping fescue Red fescue perennial ryegrass	130-3 45-1 45-1 10-25				C-D	
16. Rough bluegrass Strong Creeping red fescue	90-20 130-3				C-D	
17. Creeping Bentgrass Creeping red fescue Alkali Saltgrass	45-1 45-1 45-1 45-1				B-D	
18. Hard or Sheeps grass N.E. wildflower mixture	25-60 12-35				C-D	
19. a. Smooth oxygrass b. Softmeadow oxygrass	veg veg veg				C-D	
20. American beechgrass Coastal perennial grass	veg veg 20				D	
21. a. Purpletop willow b. Dwarf willow c. Silky dogwood	veg veg veg				D	

Table 4-3 Footnotes:

1. See Appendix B for descriptions of turf grass mixtures and cultivars. The actual amount of warm-season grass mixture used in Table 3 (seed mix 1-7) shall be adjusted to reflect the amount of PLS as determined by germination testing results. No adjustment is required for cool-season grasses (seed mixtures 8-20).

2. Seeding mixtures and/or rates not listed above may be used if recommended by the local Soil Conservation District, Natural Resources Conservation Service; recommendations of Rutgers Cooperative Extension may be approved by the Soil Conservation District. Legumes (white clover, fescue, lespedeza) should be mixed with proper inoculant prior to planting.

3. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage of the seeded area and mowed once. Grass seed mixture checked by the State Seed Analyst, New Jersey Department of Agriculture, Trenton, New Jersey, will assure the purchaser that the mixture obtained is the mixture ordered, pursuant to the N.J. State Seed Law, N.J.S.A. 4-6-17.13 et seq.

O = optimal planting period A = acceptable planting period

4. Maintenance Level:

A. Intensive mowing, (2-4 days), fertilization, lime, pest control and irrigation (Examples - high-maintenance lawns, commercial and recreation areas, public facilities).

B. Frequent mowing, (4-7 days), occasional fertilization, lime and weed control (Examples - home lawns, commercial sites, school sites).

C. Periodic mowing (7-14 days), occasional fertilization and lime (Examples - home lawns, parks).

D. Infrequent or no mowing, fertilization and lime the first year of establishment (Examples - roadsides, recreation areas, public open spaces)

5. Summer seedings should only be conducted when the site is irrigated. Mixes including white clover require that at least six weeks of growing season remain after seeding to ensure establishment before freezing conditions.

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TOPSOIL STOCKPILING DETAIL

NTS

TREE PROTECTION DETAIL

NOT TO SCALE

STONE ENTRANCE PAD

NTS

SILT FENCE DETAIL

NTS

SILT SACK INLET PROTECTION DETAIL

NTS

SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

MINOR SUBDIVISION

TAX LOT 10 BLOCK 54

BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners

328 Park Avenue, Scotch Plains, N.J. 07076

908-322-2030

REVISIONS:

Thomas J. Quinn, P.E., C.M.E.

PROFESSIONAL ENGINEER

N.J. LICENSE NO. 24GE0407200

Job No. 848260

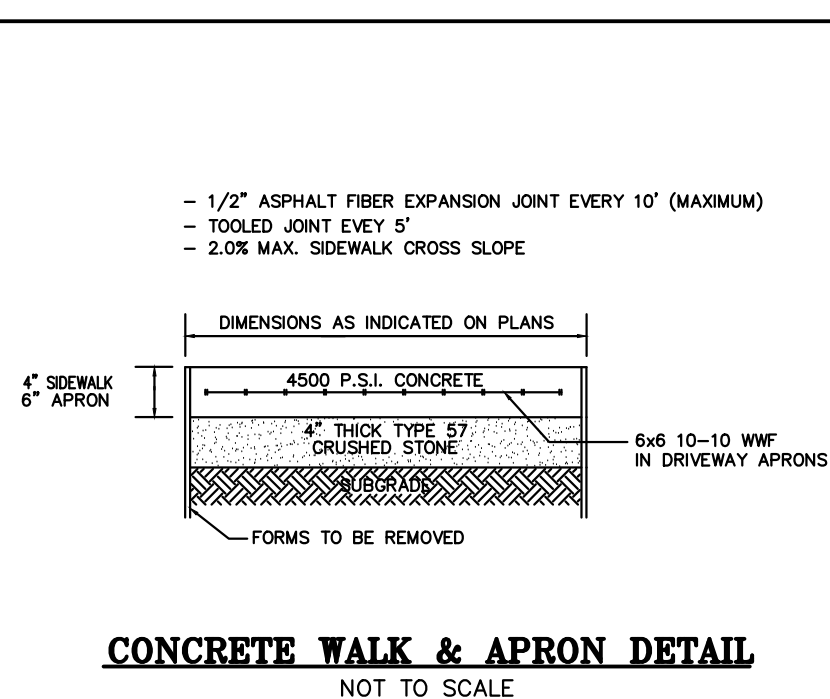
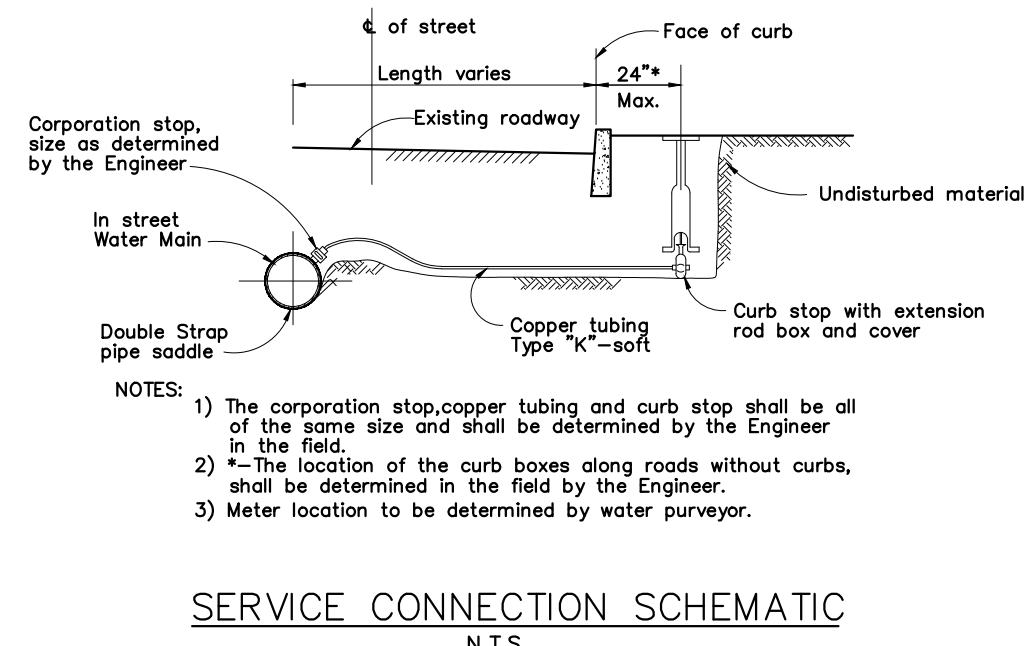
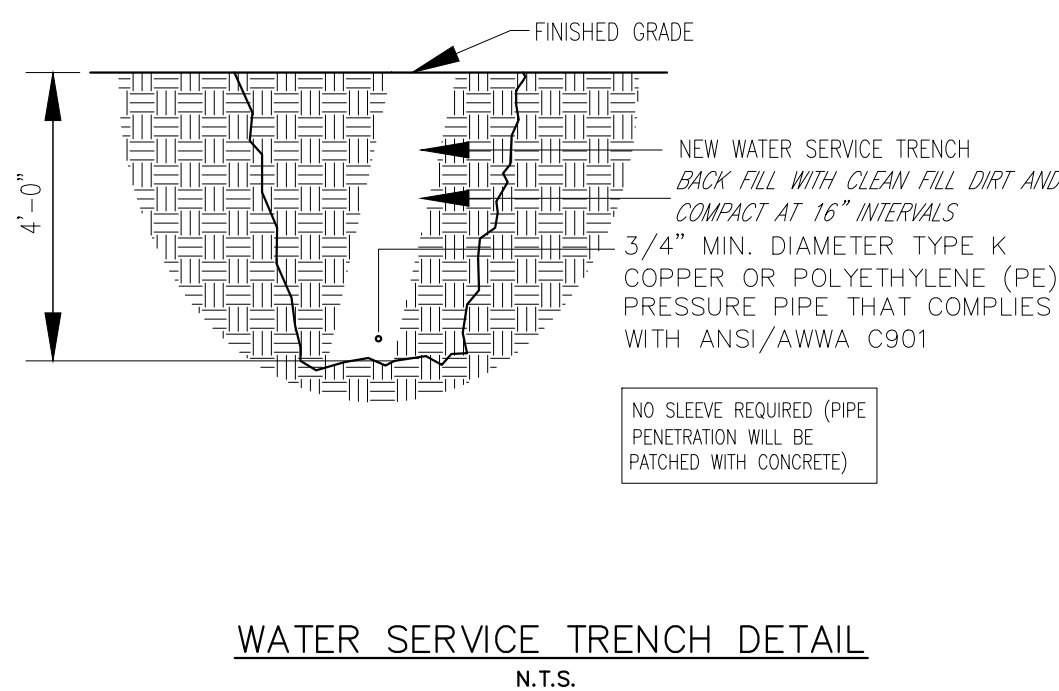
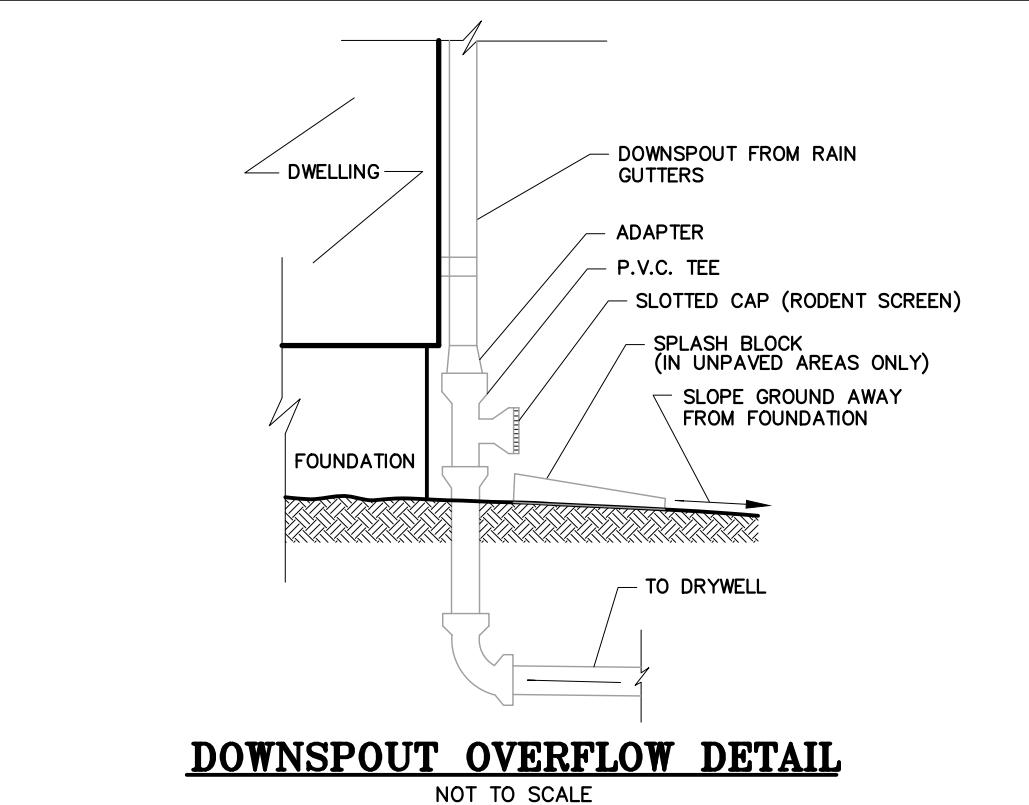
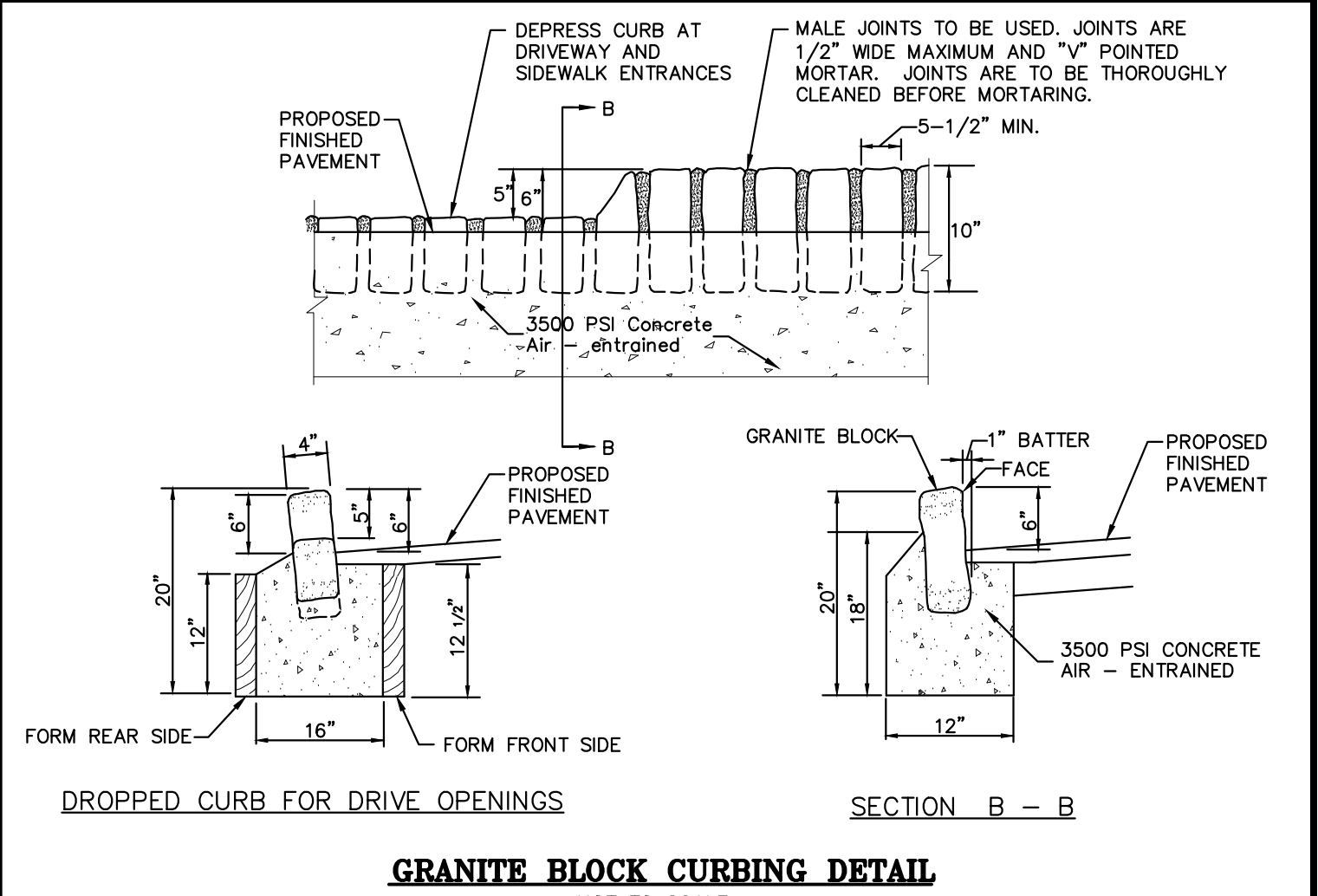
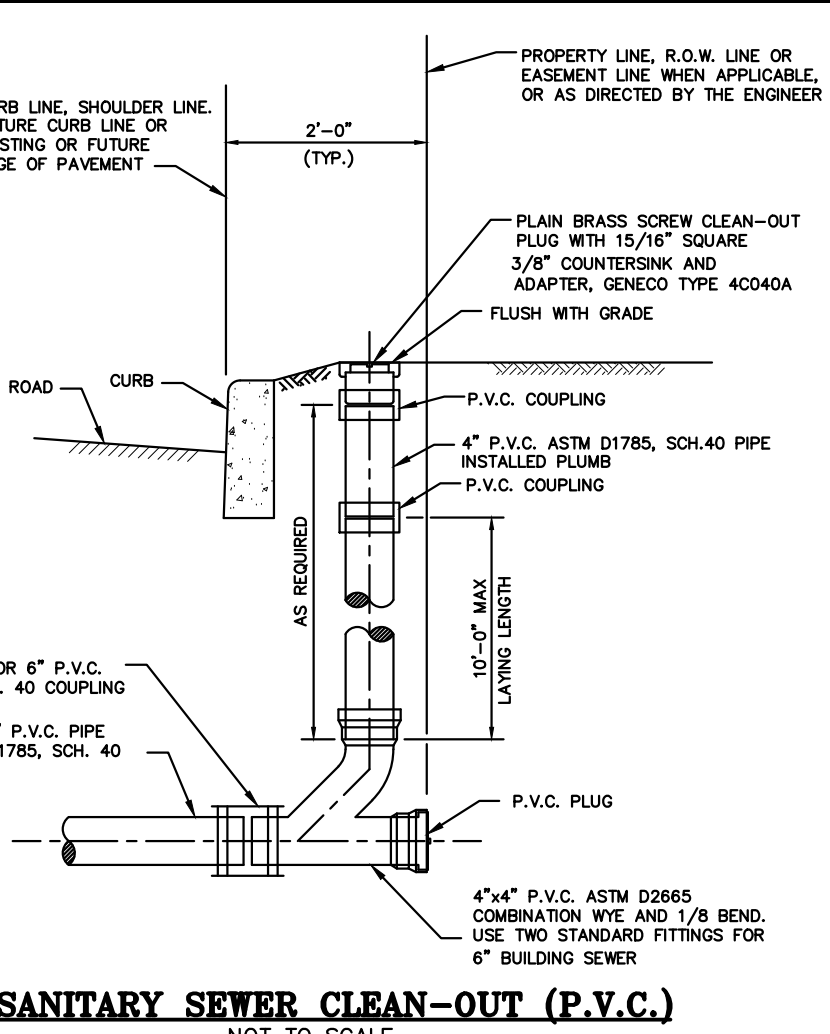
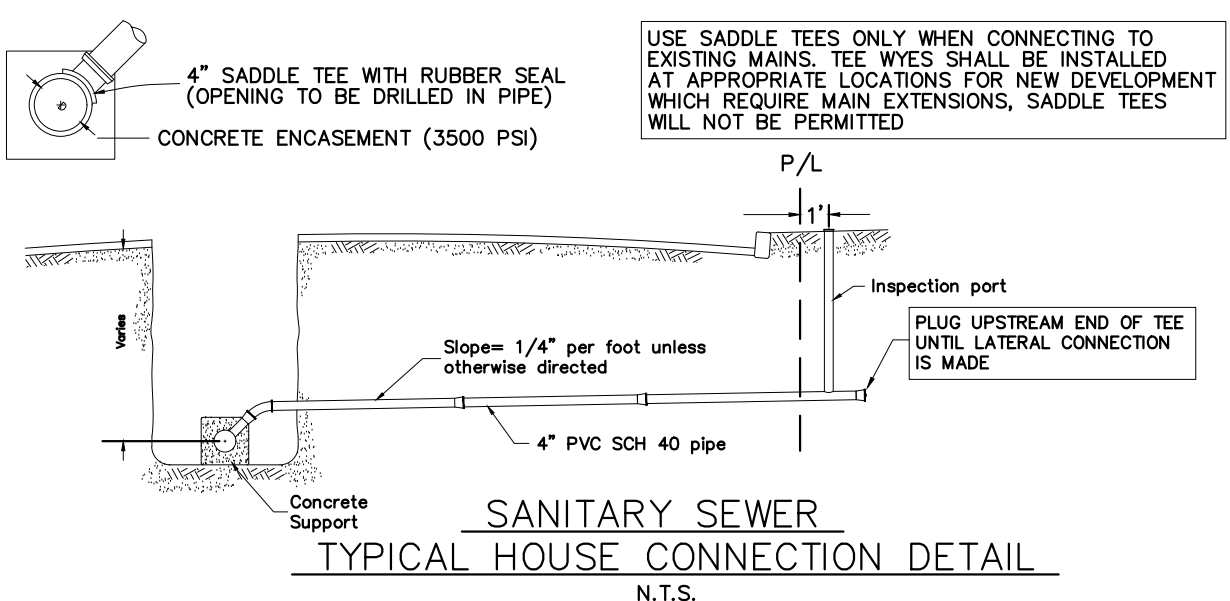
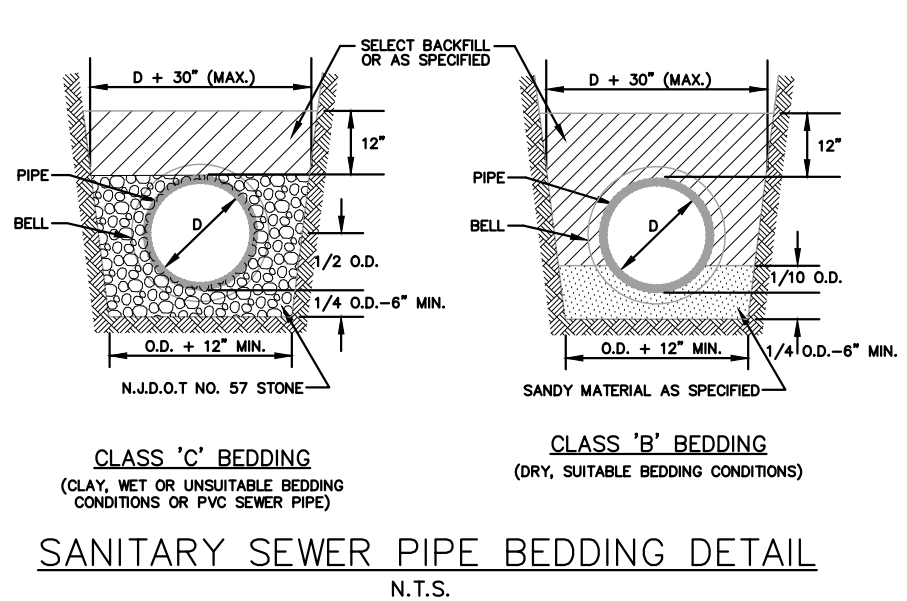
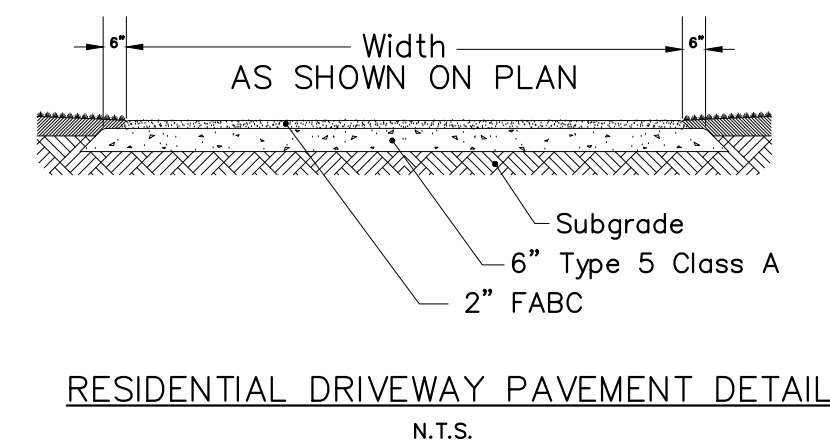
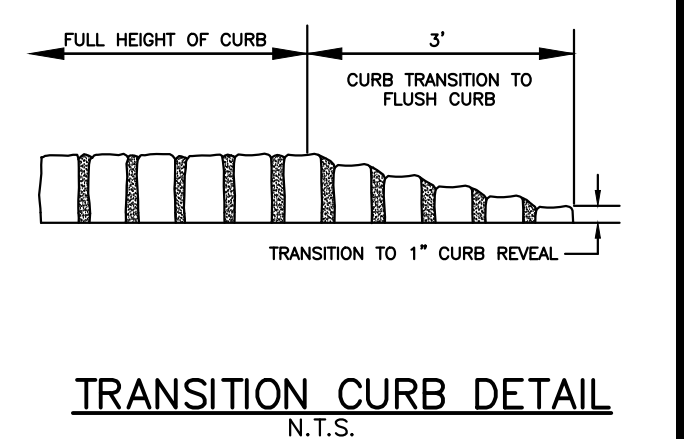
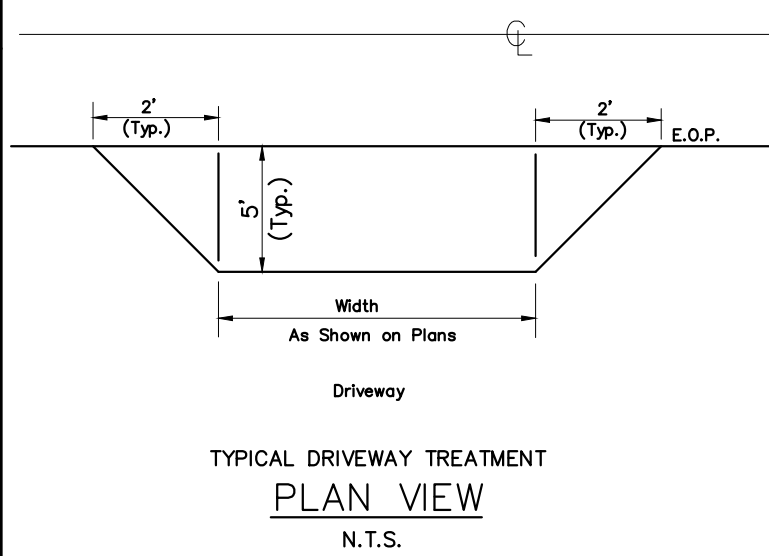
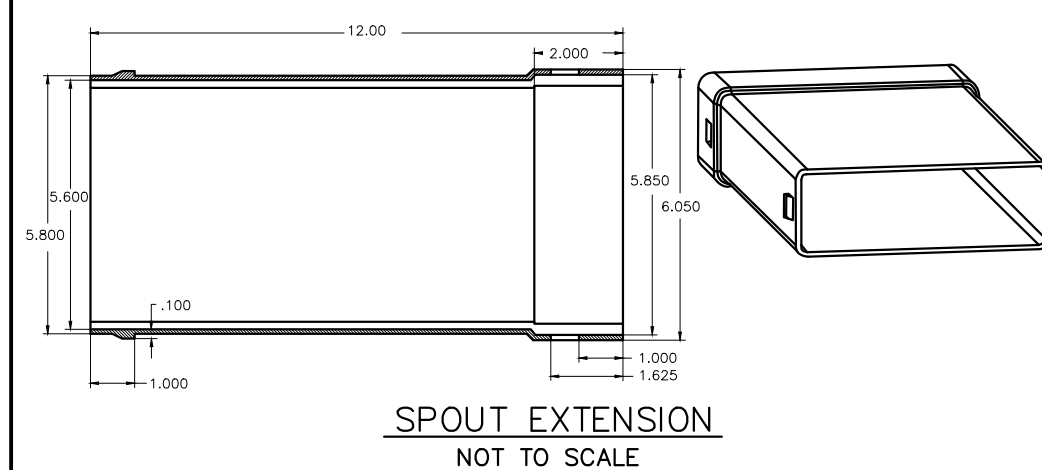
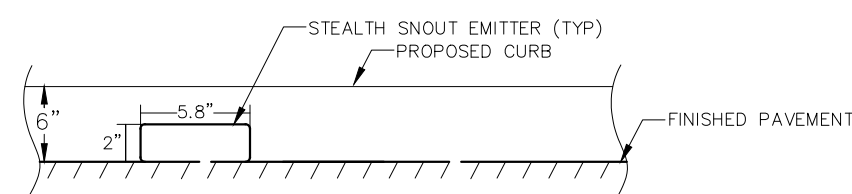
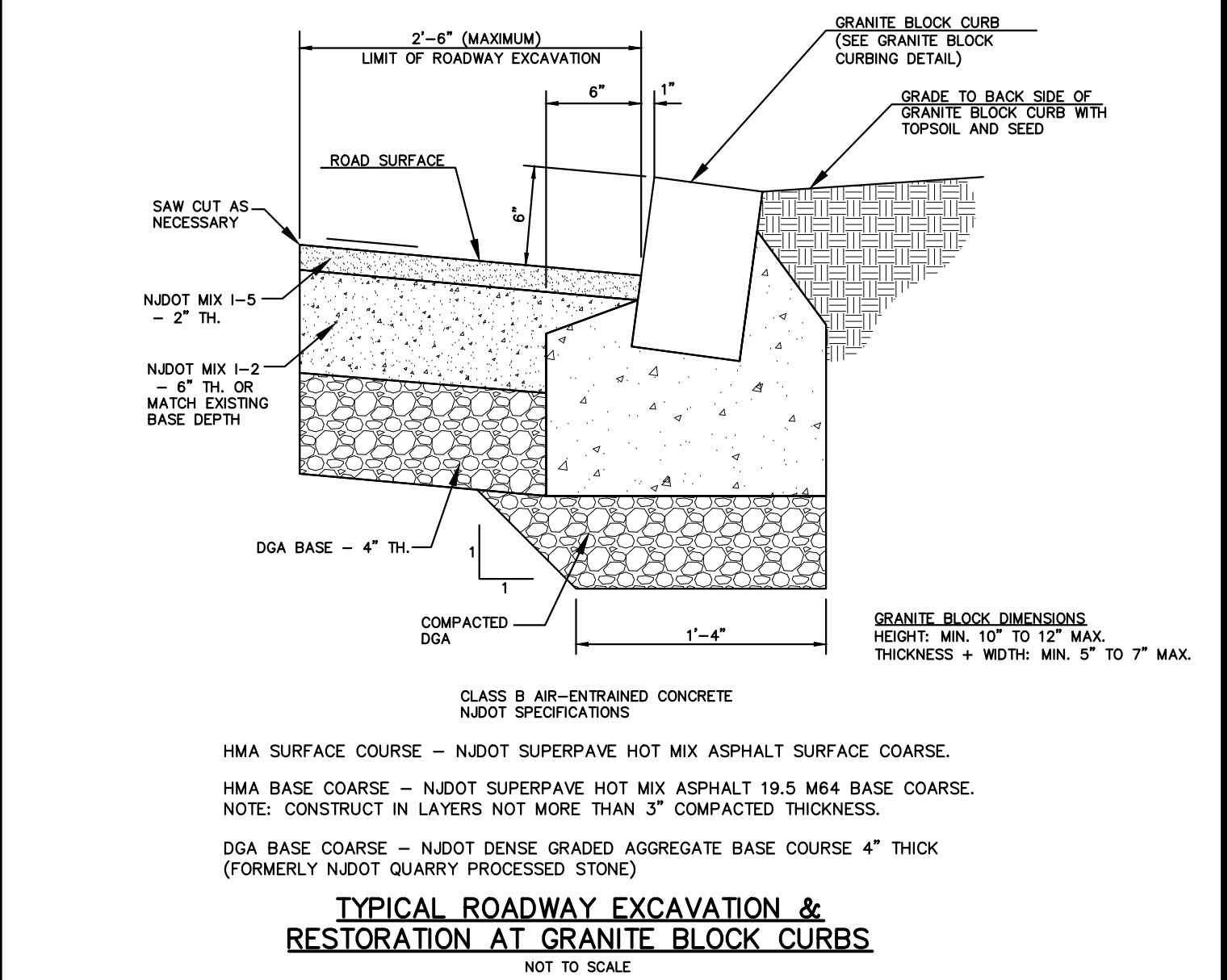
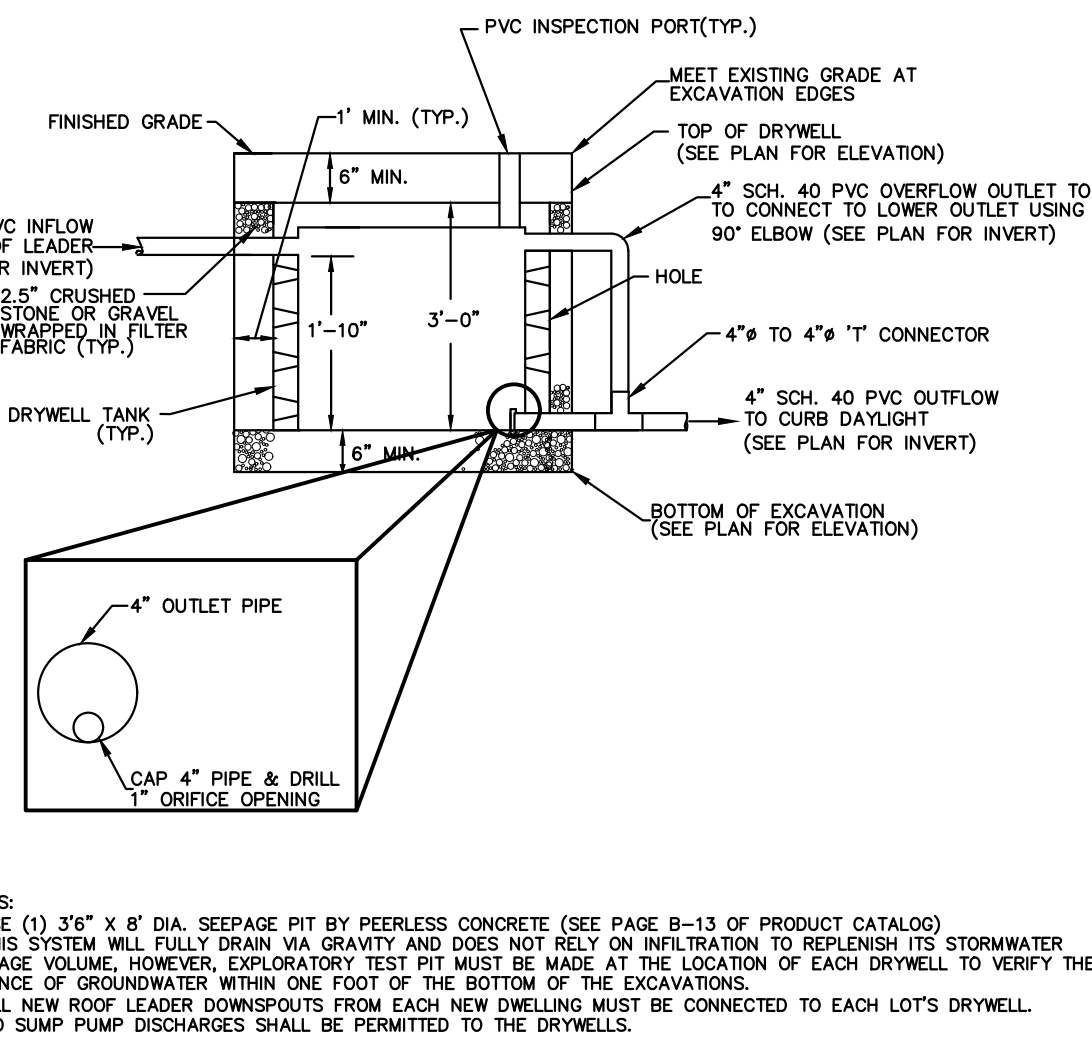
Date 5/5/2021

Scale NTS

Drawn SK

Sheet 5 of 6


Stormwater Volume Calculation & Assessment			
Total Existing On-Site Impervious Coverage: 3,922 S.F.			
Total Proposed On-Site Impervious Coverage: 5,117 S.F.			
Total Net Increase in On-Site Impervious Coverage: 1,195 S.F.			
Collect All New Roof Area Runoff from each New Dwelling			
3,798 S.F. Combined Collected Roof Area > 1,195 S.F. Net Increase (OK)			
Size for 3 inches of rainfall over increase in impervious cover:			
1,195 S.F. x (3in/12inft) = 299 C.F.			
Provide 150 C.F. for each new dwelling.			
Drywell Sizing			
Use one (1) 36" HI X 8' DIA. Seepage Pit(s) by Peefless Concrete			
ID =	7.34 ft		
OD =	8 ft		
W ₁ =	11 ft	Excavation Width	
W ₂ =	11 ft	Excavation Width	
H ₁ =	2.17 ft		
H ₂ =	2.17 ft		
VolDrywell = $\pi(D/2)^2(H_1)$ =		92 cf	
VolBed = $W_1 \times W_2 \times H_2$ =		263 cf	
VolDrywell(OD) = $\pi(OD/2)^2(H_1)$ =		109 cf	
VolStone = VolBed-VolDrywell(OD) =		153 cf	
VolVoids = VolStone*40% =		61 cf	
System Volume = VolDrywell+VolVoids =		153 cf	
Number of Drywells =		1	
Total System Volume =		153 cf	> 150 cf requirement [OK]

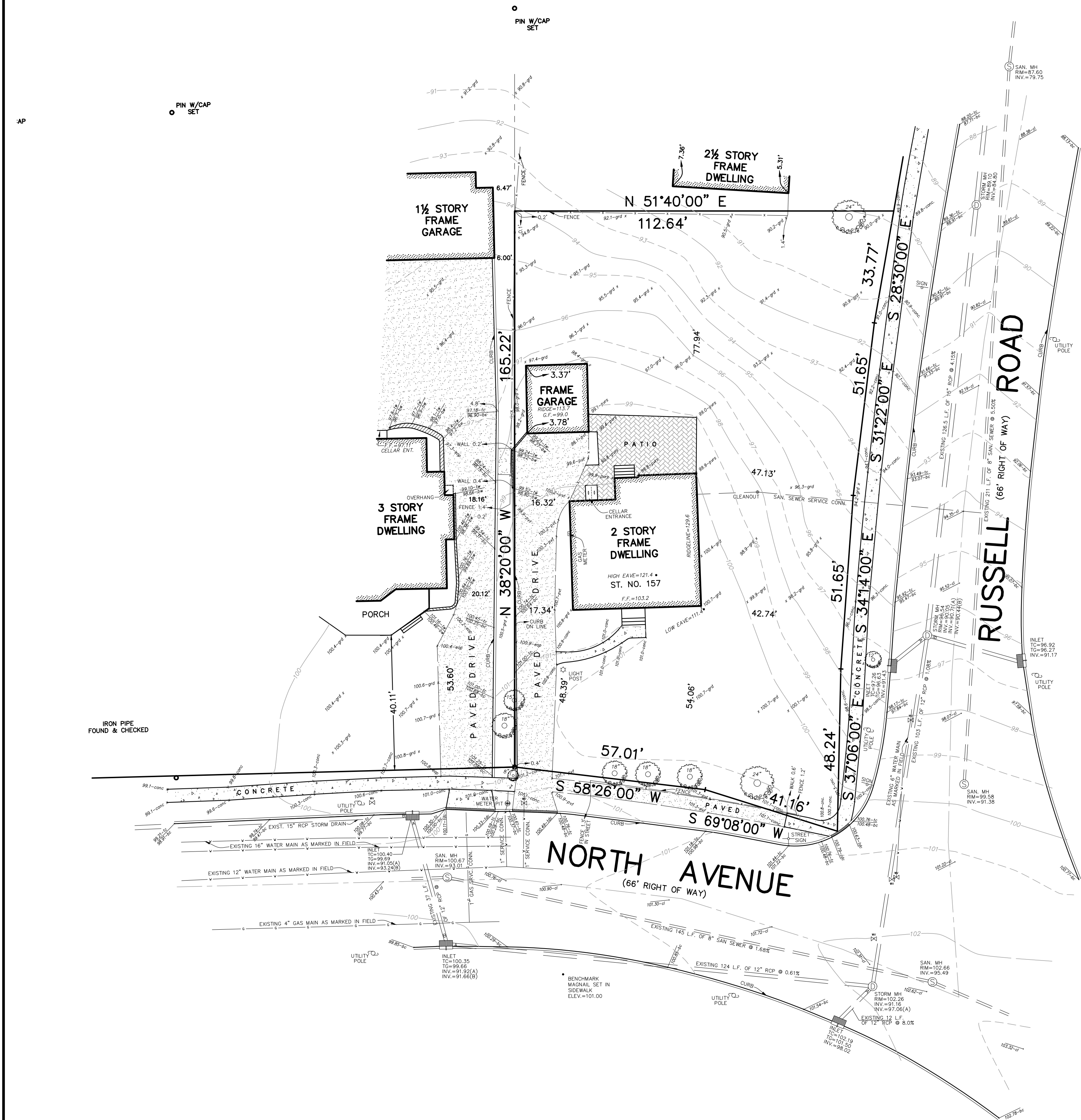


CONSTRUCTION DETAILS
MINOR SUBDIVISION
TAX LOT 10 BLOCK 54
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.

Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:			 THOMAS J. QUINN, P.E., C.M.E. PROFESSIONAL ENGINEER N.J. LICENSE NO. 246040107200										
Job No.	848260	Date	5/5/2021	Scale	NTS	Drawn	SK	Map	No.	Sheet	6	of	6



FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	11	40.11' *
AVERAGE		40.11'
NORTH AVENUE		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		

FRONT YARD AVERAGING CALCULATION		
BLOCK	LOT	SETBACK
54	8	33.90'
54	9	28.67' *
AVERAGE		31.29'
RUSSELL ROAD		
* = MEASURED TO PORCH OR LANDING IN EXCESS OF 35 S.F.		

- NOTES
1. THIS SURVEY IS BASED UPON THE FOLLOWING DATA AND/OR RECEPTIONS:
- | | | | |
|----|------------------------|-----|----|
| A. | DEED OF RECORD | YES | NO |
| B. | FILED MAP | X | — |
| C. | FIELD SURVEY | X | — |
| D. | TITLE SEARCH | — | X |
| E. | TAX MAP | X | — |
| F. | OTHER (SEE REFERENCES) | X | — |
2. THIS SURVEY REPRESENTS CONDITIONS VISIBLE ON OR ABOVE THE SURFACE OF THE GROUND AT THE TIME OF THE SURVEY. THE UNDERSIGNED PROFESSIONAL IS NOT RESPONSIBLE FOR THE PRESENCE OF UNDERGROUND UTILITIES OR STRUCTURES IF SAME ARE NOT VISIBLE OR OTHERWISE DISCLOSED BY ANY OF THE ABOVE DATA.
3. THIS SURVEY AND PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED SURVEYOR IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN THE CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
4. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
5. PARCEL CONTAINS 17,575 S.F. ±.
6. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003,c.14(C45:8-36.3) AND N.J.A.C. 13:40-5.1(d).
7. ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. (INTENDED TO BE THE SAME ASSUMED DATUM AS USED IN THE REFERENCE SURVEY BELOW). LOCAL BENCHMARK IS A SURVEYOR'S MAGNAIL SET IN THE SIDEWALK ON THE SOUTHERLY SIDE OF NORTH AVENUE, DIRECTLY ACROSS FROM TAX LOT 10, BLOCK 54 (THE SUBJECT PROPERTY) ELEV. =101.00 (ASSUMED)

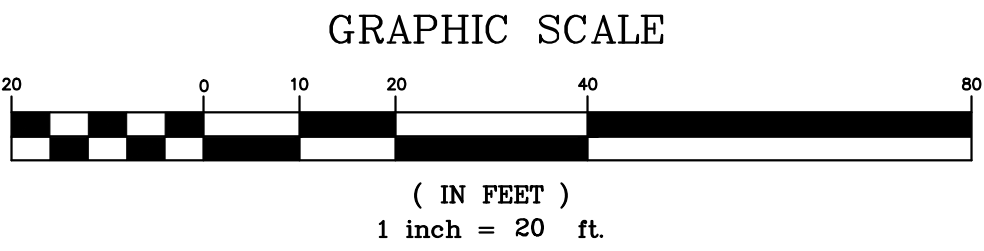
RECORD DEED
DEED BOOK 3714, PAGE 635
DEED BOOK 4248, PAGE 303

TAX MAP
SHEET No. 16

REFERENCE
ASBUILT SURVEY PLAN FOR TAX LOT 11, BLOCK 54, PREPARED BY EKA ASSOCIATES, P.A., DATED 5/22/2020

FILED MAP DATA
N/A

LEGEND	
—sw	EXISTING SIDEWALK ELEVATION
—gnd	EXISTING GROUND ELEVATION
—cl	EXISTING CENTERLINE ELEVATION
—tc	EXISTING TOP OF CURB ELEVATION
—bc	EXISTING BOTTOM OF CURB ELEVATION
—dc	EXISTING DEPRESSED CURB
—sm	EXISTING SANITARY MANHOLE
—fh	EXISTING FIRE HYDRANT
—sm	EXISTING STORM MANHOLE
—gw	EXISTING GUY WIRE
—up	EXISTING UTILITY POLE
—wv	EXISTING WATER VALVE
—gv	EXISTING GAS VALVE
—ts	EXISTING TREE AND SIZE
—ts	EXISTING TOP OF SLOPE
—bs	EXISTING BOTTOM OF SLOPE
—pc	PROPOSED CONTOUR
—spe	PROPOSED SPOT ELEVATION
—pe	EXISTING PAVEMENT ELEVATION
—ge	EXISTING GRAVEL ELEVATION
—be	EXISTING BUILDING ELEVATION
—fe	EXISTING FENCE ELEVATION
—ce	EXISTING CONCRETE ELEVATION
—tg	EXISTING TOP OF GRATE ELEVATION
—inv	EXISTING INVERT
—spe	EXISTING SPOT ELEVATION
—ep	EXISTING EDGE OF PAVEMENT ELEVATION
—tc	EXISTING CONTOUR
—tw	EXISTING TOP OF WALL
—bw	EXISTING BOTTOM OF WALL



BOUNDARY & TOPOGRAPHIC SURVEY
TAX LOT 10 BLOCK 54
BOROUGH OF FANWOOD, UNION COUNTY, NEW JERSEY

EKA ASSOCIATES, P.A.
Engineers • Surveyors • Planners
328 Park Avenue, Scotch Plains, N.J. 07076
908-322-2030

REVISIONS:

James R. Watson 5/5/2021
JAMES R. WATSON P.L.S., P.P.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 30785
PROFESSIONAL PLANNER
N.J. LICENSE NO. 3363

Job No. 848260 Date 5/5/2021 Scale 1" = 20' Drawn WKA Map No. FILE Sheet 1 of 1